



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 13, 2015

Richard F. Klawiter
DLA Piper LLP
203 N. LaSalle Street
Suite 1900
Chicago, IL 60601-1293

**Re: Administrative Relief request for Residential Business Planned Development No. 867
Subarea A, 1035 West Van Buren Street**

Dear Mr. Klawiter:

Please be advised that your request for a minor change to Residential Business Planned Development Number 867 ("PD 867"), Subarea A, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

PD 867 was amended on June 29, 2005, and allowed a maximum of 353 dwelling units, a height of 330 feet, and a minimum off-street parking ratio of 1.11 parking spaces per dwelling unit for the proposed building at 1035 W. Van Buren, within Subarea A. On January 18, 2006, administrative relief was granted to reduce the height by 40 feet and reduce the number of off-street parking spaces. On March 13, 2008, administrative relief was granted for a newly designed building with a reduction in height from 330 to 260 feet, and which would contain 325 dwelling units and 385 parking spaces. No building has yet to be constructed on this site.

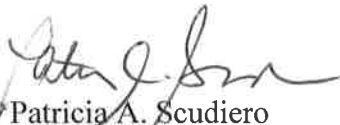
You are seeking, on behalf of the only property owner of Subarea A, Related Midwest, administrative relief to allow for further design modifications for a proposed mixed-use building which will contain ground floor retail use and 308 dwelling units above. Off-street parking will be provided at the 1.11 per dwelling unit ratio required in PD 867. The height of the proposed building will be 330 feet, which is the maximum permitted in the PD. The proposed modifications include a narrower floor plan than previously approved, the addition of more glass and metal on the exterior, the addition of perforated metal panel cladding on the north and south parking garage elevations, the elimination of the balconies and the reconfiguration of the vehicular access. The following attached drawings, prepared by GREC Architects and dated April 27, 2015, (unless otherwise noted) shall be inserted into the main file: Site Plan (dated May 6, 2015), Ground Floor Plan, Green Roof Plan, North, East, South and West Elevations, Aerial Rendering, and Entry Rendering. The revised Site Plan was approved by the Department of Transportation.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 867, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

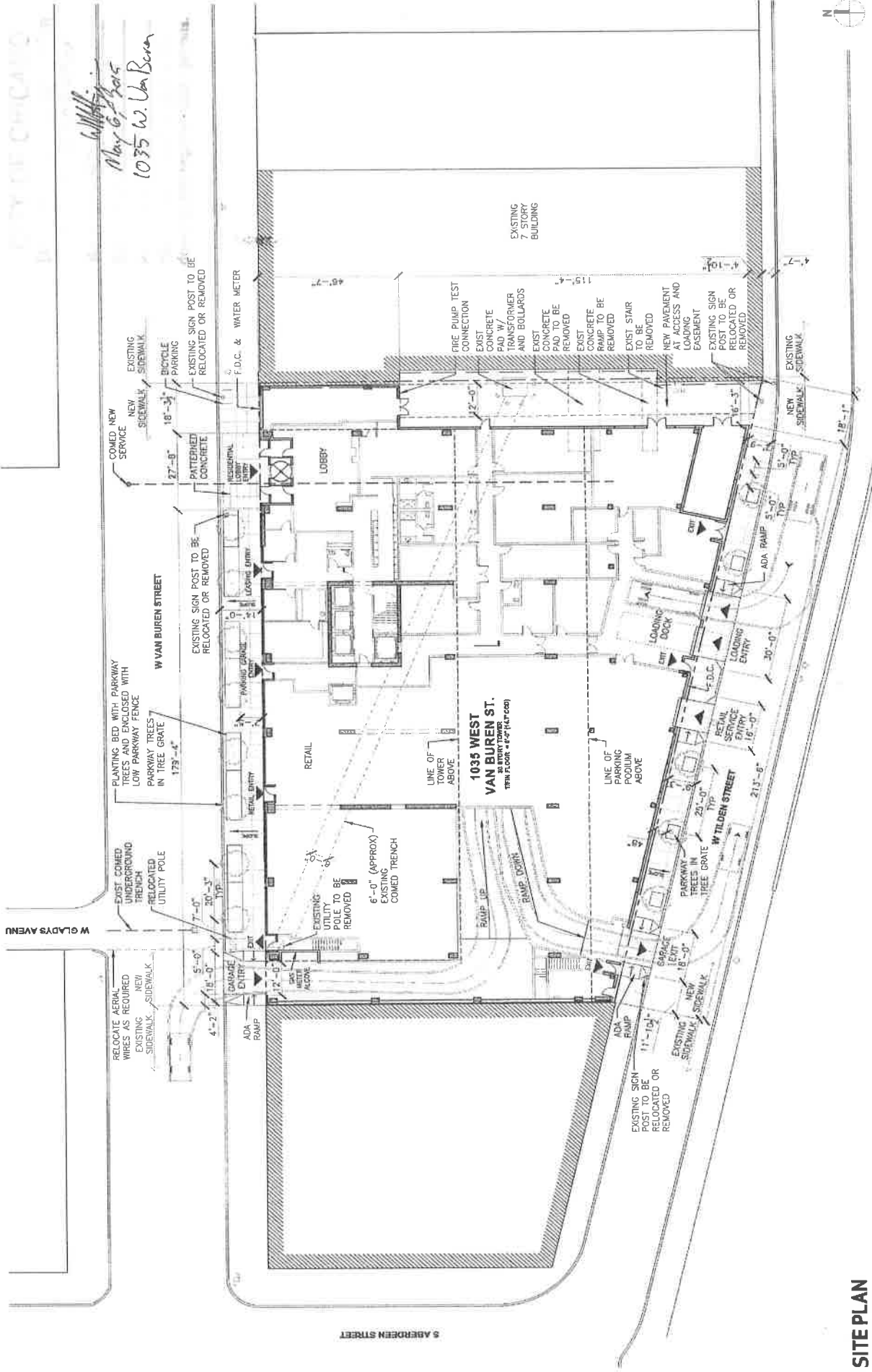
Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Heather Gleason, Mike Marmo, Erik Glass, Main file



CITY OF CHICAGO
 May 6, 2015
 1035 W. Van Buren

SITE PLAN
 SCALE: 1/8" = 1'-0"

1035 W VAN BUREN | Chicago

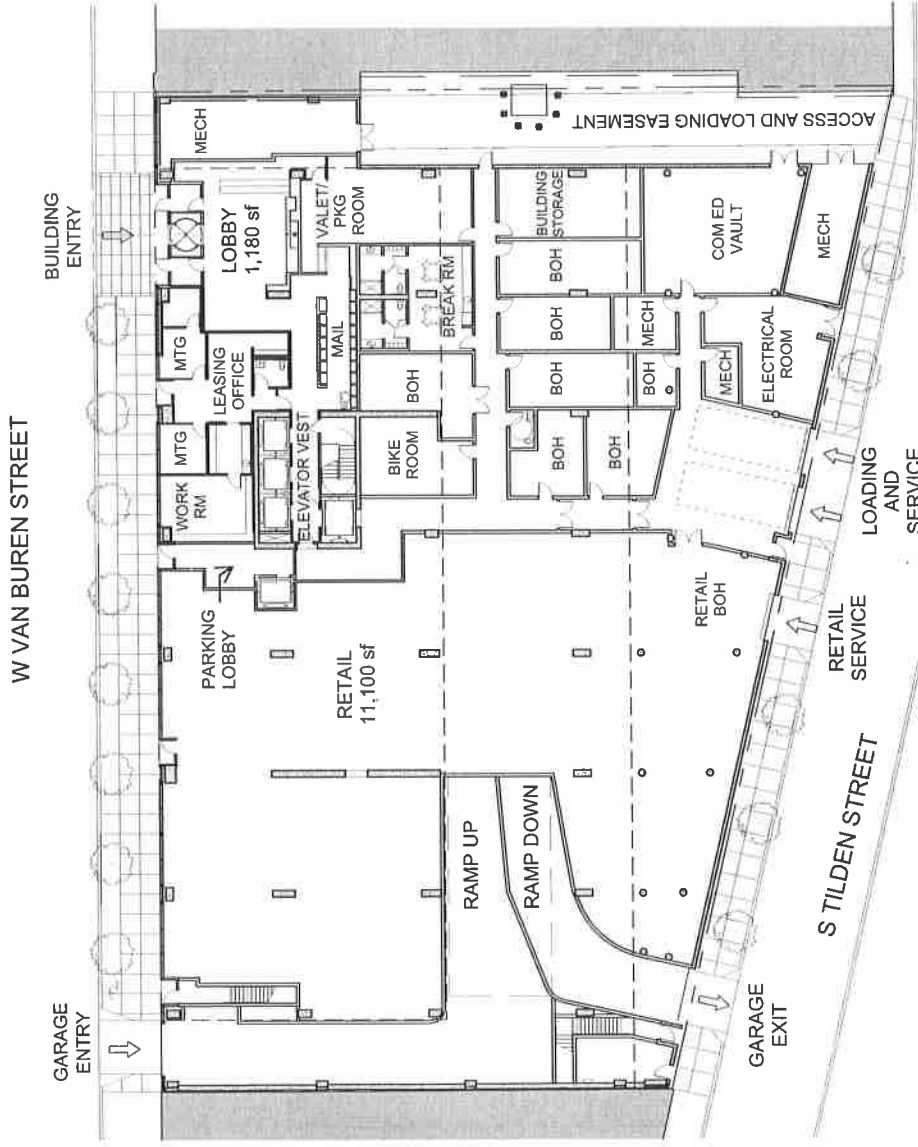
1035 W VAN BUREN PARTNERS, LLC

MA
 Morris Adjmi Architects
 www.ma.com

GIRIC ARCHITECTS

06 MAY 2015





GROUND FLOOR PLAN
 SCALE: 1/2" = 1'-0"

1035 W VAN BUREN

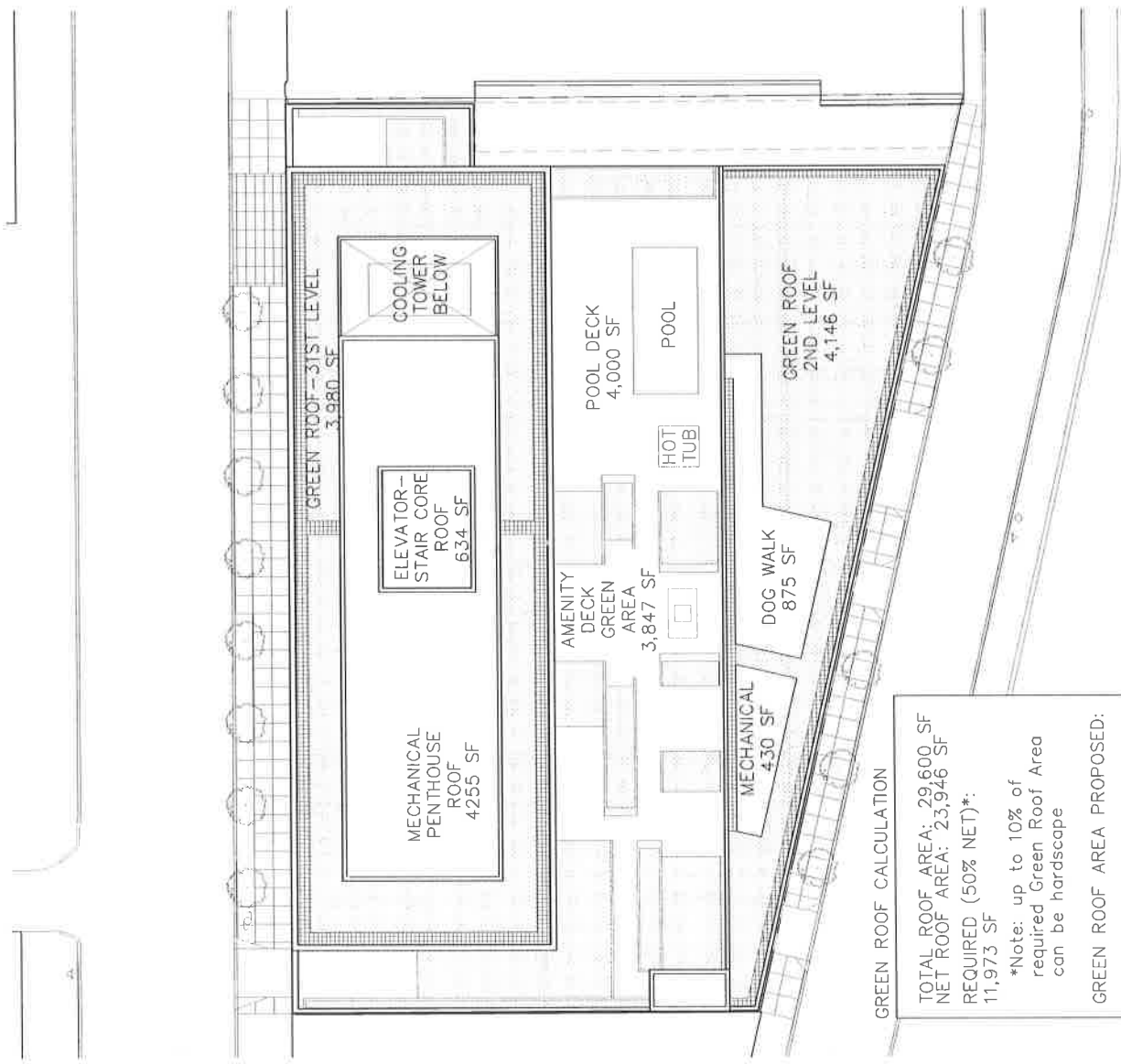
Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
 Address: 1035 W Van Buren, Chicago, IL



Montis Adjmi Architects
 www.ma.com

GIRJEI ARCHITECTS

27 APRIL 2015



GREEN ROOF CALCULATION

TOTAL ROOF AREA: 29,600 SF
 NET ROOF AREA: 23,946 SF
 REQUIRED (50% NET)*: 11,973 SF

*Note: up to 10% of required Green Roof Area can be hardscape

GREEN ROOF AREA PROPOSED:

Level 2: 4,146 SF
 Level 8: 3,847 SF
 Level 31: 3,980 SF

TOTAL GREEN ROOF PROPOSED: 11,973 SF*

GREEN ROOF PLAN

SCALE: 1/8" = 1'-0"

1035 W VAN BUREN

Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
 Address: 1035 W Van Buren, Chicago, IL

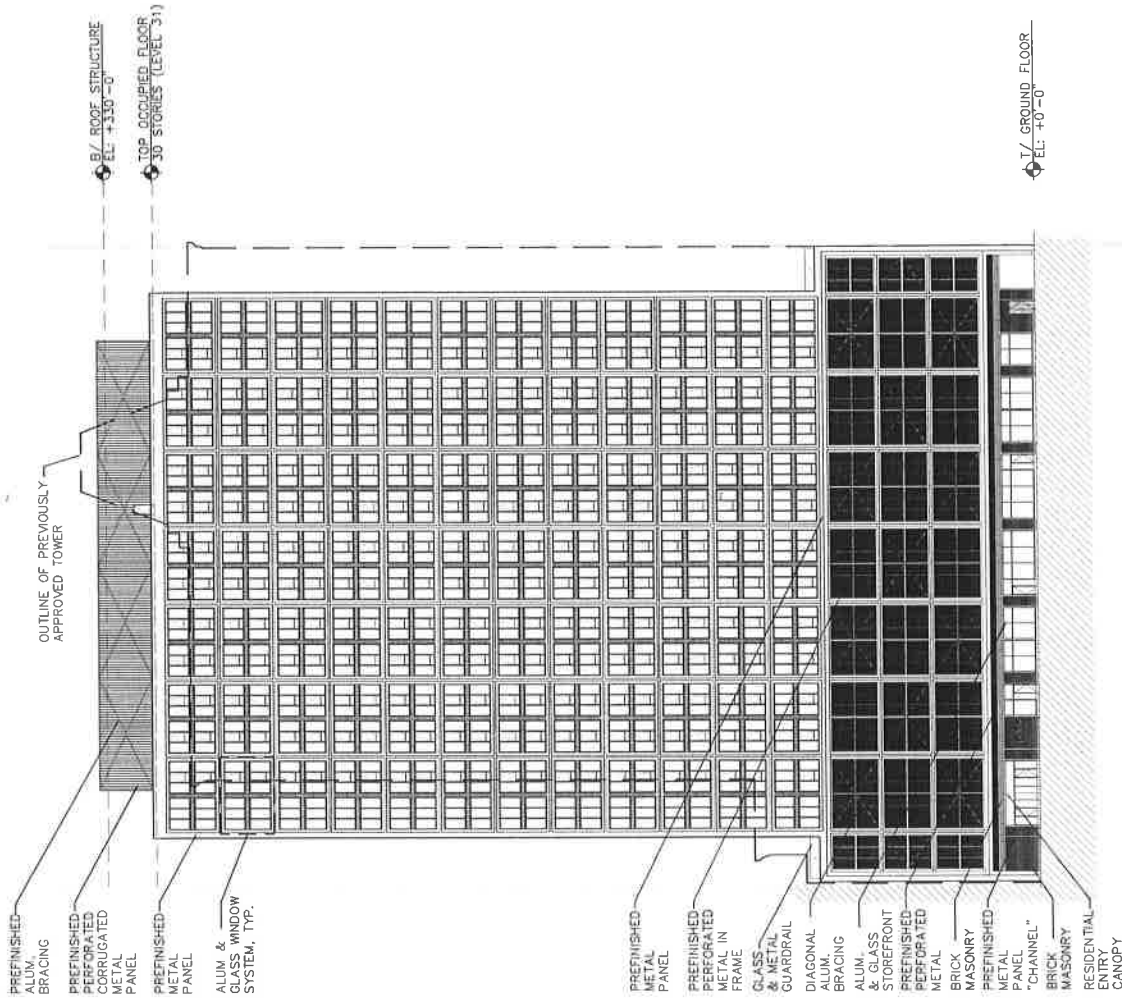


Morris Adjmi Architects
 www.ma.com

G|R|E|C ARCHITECTS

27 APRIL 2015





B./ ROOF STRUCTURE
EL. +330'-0"

Top OCCUPIED FLOOR
30 STORIES (LEVEL 31)

T./ GROUND FLOOR
EL. +0'-0"

NORTH ELEVATION

SCALE: 1" = 50'-0"

1035 W VAN BUREN

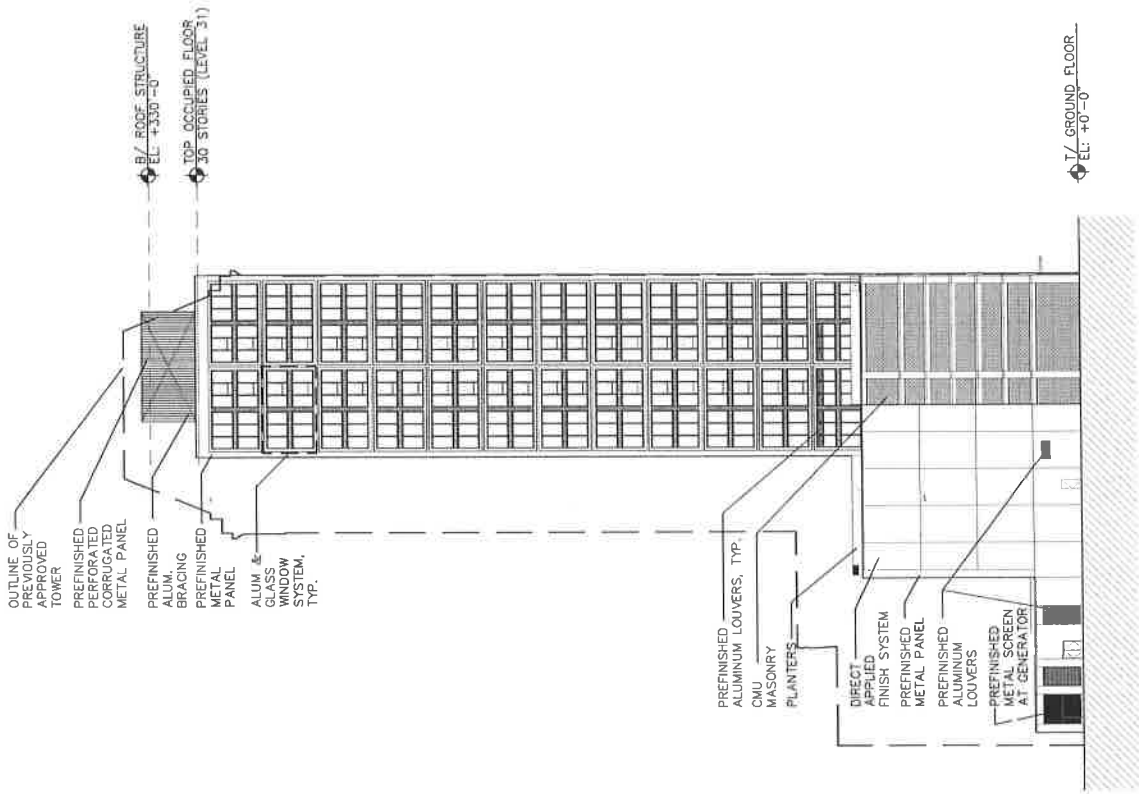
Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
Address: 1035 W Van Buren, Chicago, IL



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www.ma.com

GIRIEIC ARCHITECTS

27 APRIL 2015



EAST ELEVATION
SCALE: 1" = 50'-0"

1035 W VAN BUREN

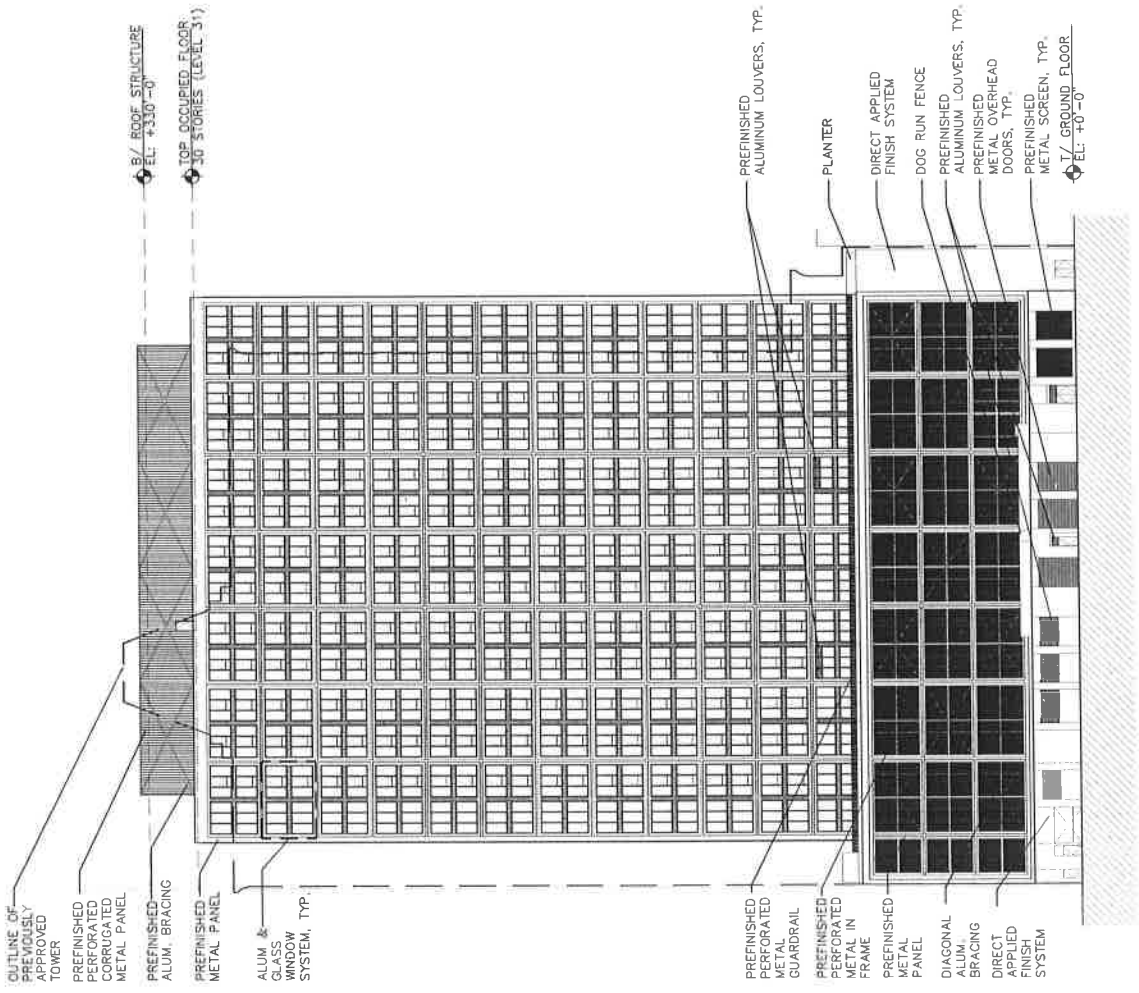
Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
Address: 1035 W Van Buren, Chicago, IL



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27 APRIL 2015



SOUTH ELEVATION - TOWER

SCALE: 1" = 50'-0"

1035 W VAN BUREN

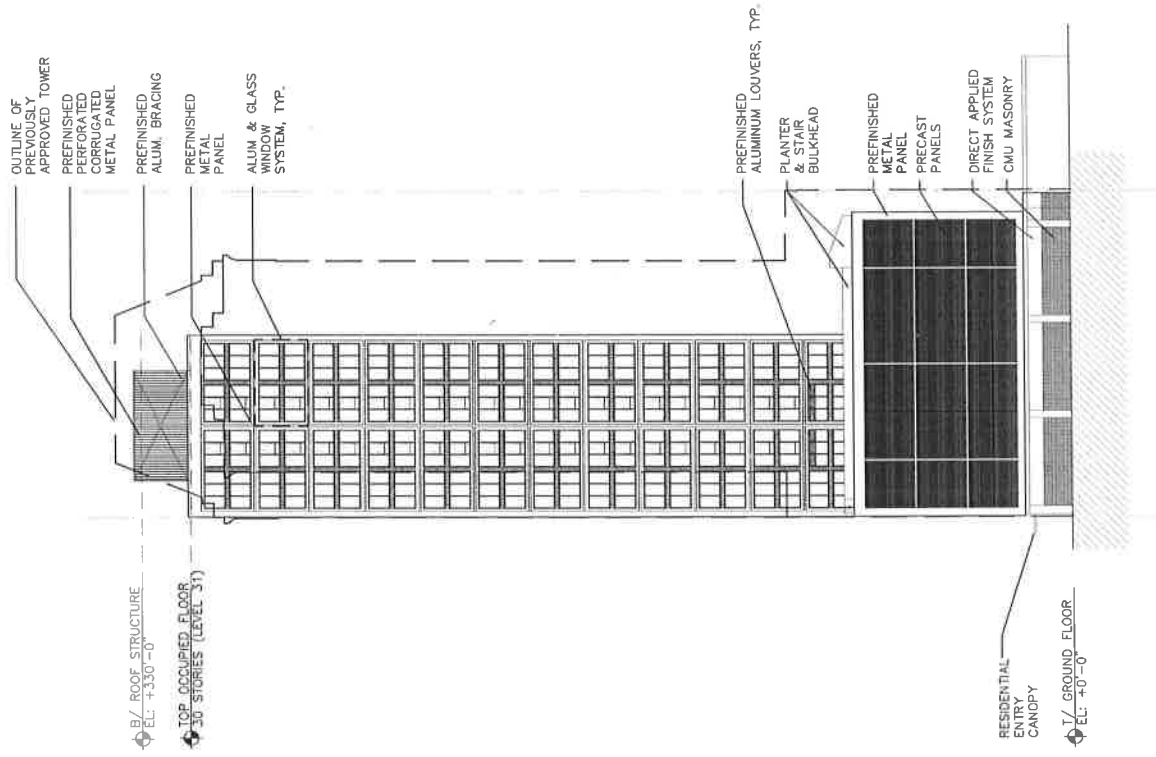
Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
 Address: 1035 W Van Buren, Chicago, IL



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27 APRIL 2015



WEST ELEVATION
 SCALE: 1" = 50'-0"

1035 W VAN BUREN

Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
 Address: 1035 W Van Buren, Chicago, IL



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27 APRIL 2015



AERIAL RENDERING

1035 W VAN BUREN

Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
Address: 1035 W Van Buren, Chicago, IL

27 APRIL 2015

GIRIEIC ARCHITECTS



ENTRY RENDERING

1035 W VAN BUREN

Applicant: 1035 WEST VAN BUREN PARTNERS, LLC
Address: 1035 W Van Buren, Chicago, IL

27 APRIL 2015

GIRIEIC ARCHITECTS 



City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

March 13, 2008

Katrina McGuire
Schain, Burney, Ross & Citron, Ltd.
Suite 1910
222 North LaSalle Street
Chicago, Illinois 60601-4514

**Re: Administrative Relief request for Residential-Business Planned
Development No. 867, Sub Area A, 1051 W. Van Buren Street**

Dear Ms. McGuire:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 867 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you are requesting:

- A reduction in the building height from the approved 330 feet to 260 feet and changes to the building facade. The sidewalks adjacent to the building on West Van Buren and West Tilden Streets will be replaced and if there is any damage as a result of construction, it will be repaired.

The following shall be inserted into the main file:

- Bulk Regulations and Data Table for Sub Area A (July 12, 2007)
- A-19 North Elevation (Fitzgerald Associates Architects, October 9, 2006)
- A-20 South Elevation (Fitzgerald Associates Architects, October 9, 2006)
- A-21 West Elevation (Fitzgerald Associates Architects, October 9, 2006)
- A-23 Van Buren Streetscape (Fitzgerald Associates Architects, October 9, 2006)
- L-1.0 Landscape Plan Street Level (Daniel Weinbach & Partners, Ltd., Feb. 2, 2007)
- L-2.0 Green Roof Landscape Plans (Daniel Weinbach & Partners, Ltd., Feb. 2, 2007)

With regard to your request, the Department of Planning and Development has determined that these revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 867, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall
Commissioner

ALR:SA:tm

cc: Terri Haymaker, Mike Marmo, Pat Haynes, Erik Glass, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

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June 7, 2007

Nori Greenstein
Smithfield Properties LLC
400 West Huron Street
Chicago, Illinois 60610-2234

**Re: Administrative Relief request for Residential-Business Planned
Development No. 867, Subarea C, 1001 W. Van Buren St./410 S. Morgan St.**

Dear Ms. Greenstein:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 867 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

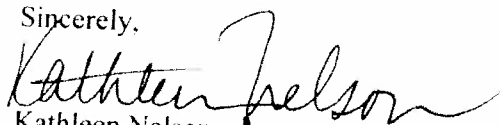
Specifically, you are requesting landscape revisions. The previously approved Landscape Plan, dated September 21, 2006, indicated that 14 existing trees along W. Van Buren St. would be retained, the existing tree grates would be removed, the existing concrete sidewalk around the trees would be removed, and the resulting planting area would consist of a newly created continuous sodded area. Five new trees are to be planted in tree grates along S. Morgan St. It has now been determined that adding a sodded area along W. Van Buren St. at the same grade as the sidewalk is not viable. Due to its shady location, grass may not survive and the lack of a protective curb around the planting area may cause soil compaction and contamination problems.

Your revised Landscape Plan, dated June 1, 2007, retains 13 existing trees in existing tree grates on W. Van Buren St. One tree has been eliminated at the request of the Department of Water. On S. Morgan St., 6 new four-inch caliper Princeton Sentry ginkgo trees will be installed. The eliminated Van Buren tree will be replaced with one additional tree on S. Morgan St. In lieu of providing a sodded area along Van Buren, 8 three-inch Bloodgood London Plane trees will be donated to the Department of Environment's GreenStreets program for planting in the surrounding neighborhood.

With regard to your request, the Department of Planning and Development has determined that these landscape revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 867, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Kathleen Nelson
Commissioner

KCN:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

December 28, 2006

Robert Buono
Smithfield Properties LLC
400 West Huron Street
Chicago, Illinois 60610-2234

Re: Administrative Relief request for Residential-Business Planned Development No. 867, Subarea C, 1001 W. Van Buren Street and 410 S. Morgan Street

Dear Mr. Buono:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 867 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you are requesting a reduction in the required minimum number of off-street parking spaces from 33 to 30 spaces. This parking reduction request is for the rehabilitation of an existing building which will be used for student housing by The University of Illinois at Chicago. A previous Administrative Relief was granted on February 17, 2006 to allow for a minimum of 33 parking spaces due to unusual structural column spacing which impacted the parking layout. During recent interior demolition, an unknown foundation was discovered that cannot be moved. Therefore, the parking ramp to the basement must be reconfigured and as a result, only 30 parking spaces can be provided.

With regard to your request, the Department of Planning and Development has determined that this reduction in parking from 33 to 30 spaces does not create an adverse impact on the Planned Development or surrounding neighborhood, does not result in an increase in the bulk or density, does not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 867, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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<http://www.cityofchicago.org>

February 17, 2006

Ms. Diana Luo
Smithfield Properties, L.L.C.
400 West Huron Street
Chicago, Illinois 60610-2234

RE: Request for Minor Change to Business Planned Development No. 867, as amended, Sub-area C (Automatic Lofts, 410 South Morgan Street; 1001 West Van Buren Street)

Dear Ms. Luo:

Please be advised that your request for minor change to Business Planned Development No. 867, as amended, Sub-area C, on behalf of Smithfield Properties, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested to reduce the minimum number of required off-street parking spaces for the proposed development in Sub-area C. The Planned Development requires for Sub-area C: 1.11 parking spaces per dwelling unit to be reduced in accordance with Section 17-10-0102-B(1) (50% reduction in cases of rehabilitation or reuse of existing structures within 600 feet of a CTA station entrance) and with Section 17-10-0102-C (50% reduction for buildings in a "D" district that provide all off-street parking underground). On that basis, the 145 dwelling units permitted in Sub-area C would require a minimum 40 off-street parking spaces. You have requested to reduce that minimum parking requirement to 33 spaces because they would be provided in an existing building that has column spacing that would prevent provision of more than 33 spaces of the dimensions required by the Zoning Ordinance.

The Department has reviewed the request and has determined that the proposed minor change would be appropriate. It would be consistent with the policies embodied in the Zoning Ordinance to reduce parking near transit stations in the Central Area and to locate parking underground. Further, since this project designed for student housing is located two blocks from the campus of the University of Illinois - Chicago, there should be extremely reduced parking demand.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and the Planned Development, as amended, I hereby approve the requested Minor Change to this Planned Development.

Very truly yours,

Lori T. Healey
Commissioner

Originated by: Fred Deters

cc: Michael Marmo, Patricia Scudiero, Terri Haymaker, Planned Development files





Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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121 North LaSalle Street
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(312) 744-4190
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(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

January 18, 2006

Ms. Katrina S. McGuire
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street, Suite 1910
Chicago, Illinois 60601-1102

RE: Request for Minor Change to Residential Business Planned Development
No. 867; Sub-Area A
(1001 West Van Buren Street)

Dear Ms. McGuire:

Please be advised that your request for minor change to Residential Business Planned Development No. 867, on behalf of Winthrop Properties, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of Chicago Zoning Ordinance and Statement No.11 of the Planned Development.

Specifically, you requested to substitute the following exhibits, as they apply to Sub-Area A only, for those attached to the Planned Development: Site Plan; Landscape Plan; North Elevation, South Elevation; East and West Elevations; and Exterior Materials, all dated December 1, 2005. These exhibits indicate a change in the footprint of the tower portion of Sub-Area A; a reduction of the tower height in Sub-Area A by almost 40 feet; a reduction of the height of the garage base in Sub-Area A by one level, bringing it in line with the adjacent building; and an increase in the setback of the tower portion of Sub-Area A from the south property line. In addition, painted concrete would replace the previously approved precast concrete and brick veneer in the exterior materials of the tower.

The Department has reviewed the request and has determined that the proposed modification would be appropriate. It would not change the character of the development, nor would it increase the maximum number of dwelling units or the maximum F.A.R. permitted in the Planned Development, nor would it reduce the minimum distance required between structures.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the requested Minor Change to this Planned Development.

Very truly yours,

Lori T. Healey
Commissioner

cc: Michael Marmo, Tom Smith, Terri Haymaker, Planned Development files



Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 2-F.
(Application Number A-5747)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 2-F in the area bounded by:

West Harrison Street; South Canal Street; West Polk Street; and the east right-of-way line of the Dan Ryan Expressway,

to those of a DS-5 Downtown Service District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map Number 2-G.

(As Amended)

(Application Number 14859) *R B P D 867,99*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 867 symbols and indications as shown on Map Number 2-G in the area bounded by:

West Van Buren Street; South Morgan Street; West Tilden Street; and a line 556.65 feet west of and parallel to South Morgan Street,

to those of Residential-Business Planned Development Number 867, as amended, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development
Number 867, As Amended.*

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development Number 867, as amended (the "Planned Development") consists of approximately eighty-six thousand eight hundred ninety-six (86,896) square feet (one and ninety-nine hundredths (1.99) acres) of property, exclusive of publicly owned rights-of-way, which is depicted on the attached Planned Development Boundary, Property Line and Subarea Map (the "Property") and is controlled by Smithfield Properties XXXVII, L.L.C. (the "Applicant").
2. The Applicant shall obtain all necessary official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys or easements or any adjustment of right-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the owners of all property within the Planned Development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the Planned Development, the legal titleholders and any ground lessor. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore,

pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant, its successors and assigns or any property owner's association which is formed. Provided, however, that notwithstanding any other provision of this Planned Development, an application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development may be filed by the owner of a specific subarea without the consent of the owners of the other subareas so long as the application does not result in a adverse effect on the development parameters applicable to the other subareas.

4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; a Planned Development Boundary, Property Line and Subarea Map; an Existing Zoning and Land-Use Map all dated June 16, 2005; a Site Plan, a Landscape Plan, a North/West Van Buren Elevation, a South/Eisenhower Expressway Elevation; and East and West Elevation, and an Exterior Materials drawing, all prepared by Fitzgerald & Associates and dated June 16, 2005; and a Site Plan and North Elevation for the Subarea C improvements prepared by Antunovich Associates and dated June 16, 2005. Full-size copies of these exhibits are on file with the Department of Planning and Development. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of the Planned Development conflicts with this Chicago Building Code, the Building Code shall control.
5. The Property within the Planned Development is indicated on the Planned Development Boundary, Property Line and Subarea Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property: multi-family dwelling units, including student residences; uses as permitted in the DX-7 zoning district; accessory parking; non-accessory parking; ground floor residential uses, although no dwelling units will be located on the ground floor of the Van Buren frontage; accessory uses; and related uses.

6. Identification and business signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.
7. Any service drive or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to review of the Departments of Transportation and Planning and Development. The parking, required or voluntary, for improvements within any subarea may be provided within any of the other subareas in this Planned Development. Until construction of the parking garage to be located in Subarea A is complete, parking in each subarea shall be in numbers consistent with the DX-7 requirements and may be provided at off-site locations. The location of any off-site parking locations is subject only to approval of the Department of Planning and Development. In addition, to the extent that off-street parking spaces are provided within a subarea, bicycle parking in accordance with the provisions of Section 17-10-0208 of the Chicago Zoning Ordinance shall also be provided within that subarea.

Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. Building heights shall be measured as provided in Section 17-17-0311 of the Chicago Zoning Ordinance. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor

area ratio calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply. The Subarea C F.A.R. may be increased from four and sixty-four hundredths (4.64) to not more than five and twenty-eight hundredths (5.28), resulting in a total maximum F.A.R. in the Planned Development of not more than seven and thirty-one hundredths (7.31). To the extent that the Applicant desires to develop Subarea C with a F.A.R. in excess of four and sixty-four hundredths (4.64) and prior to the approval by the Commissioner of the Department of Planning and Development of an application pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance for such a development on Subarea C, the Applicant must submit proof of payment to the City of Chicago Affordable Housing Opportunity Fund in an amount determined in accordance with Section 17-4-1004(C) of the Chicago Zoning Ordinance.

10. (A) Improvements of the Property, including landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas shall be designed, constructed and maintained in substantial conformance with the Bulk Regulations and Data Table and the Site Plan, the Landscape Plans and Building Elevation attached hereto and made a part hereof. Landscaping, green roof, planter boxes and the exterior dog walk shall be installed and maintained at all times in accordance with the Site Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
- (B) The owner of each subarea, prior to the issuance of a Certificate of Occupancy for improvements within each subarea, shall install the landscaping depicted on the Landscape Plans along the Morgan Street, Van Buren Street and Tilden Street rights-of-way immediately adjacent to its frontage within the respective subarea.
- (C) The Applicant may demolish or retain the floors, above the ground floor, of the building at 1027 West Van Buren Street. If the upper floors of 1027 West Van Buren Street building are retained, the north and south facades of that building may be removed and new facades constructed. The new facades shall be distinguishable from the facades of the buildings immediately to the east and west of the 1027 West Van Buren Street building. Prior to the Commissioner of the Department of Planning and Development approving an application pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance for development in Subarea C, the Applicant shall submit designs of the proposed facades for the 1027 West Van Buren Street building to the Commissioner for the Commissioner's review and approval.

11. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development, upon the written request for such a modification by the Applicant or such other party as permitted under Statement 3 and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development. Any such modification of the requirements by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.

In furtherance of these goals, the Applicant shall provide vegetated ("green") roof areas equal to at least forty-seven and six-tenths percent (47.6%) of the net roof area of the building to be constructed in Subarea A and at least twenty-five percent (25%) of the net roof area of the building at 1027 West Van Buren Street. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures and roof-mounted equipment. The Applicant has provided expert testimony that the structures of the other existing buildings in Subarea C and the existing building in Subarea B are not sufficient to safely support green roofs. These buildings are excluded from any green roof requirements.

If City financial assistance is sought in connection with development within this Planned Development, then relevant City policy in effect at the time such assistance is sought regarding other environmental requirements shall apply.

14. Unless substantial construction of the improvements contemplated by this amended Planned Development for one (1) of the subareas has begun within six (6) years of the original date of passage of this Planned Development (June 3, 2003), then this Planned Development shall expire and the zoning of the Property shall automatically revert to DX-7 Downtown Mixed-Use District. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Planned Development Property Line, Boundary and Subarea Map; Existing Zoning and Land-Use Map; Site Plans; Landscape Plan; Building Elevations and Exterior Materials referred to in these Plan of Development Statements printed on pages 52377 through 52386 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential-Business Planned Development
Number 867, As Amended.*

Plan Of Development Bulk Regulations And Data Table.

Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way:

122,518 square feet (2.81 acres) = 86,896 square feet (1.99 acres) + 35,622 square feet (0.82 acres)

Maximum Permitted Floor Area Ratio:	Size of Subarea	Floor Area Ratio
Subarea A:	31,736 square feet	10.27

Maximum Permitted Floor Area Ratio:	Size of Subarea	Floor Area Ratio
Subarea B:	13,112 square feet	6.62
Subarea C:	42,048 square feet	5.28*
TOTAL:	86,896 square feet	7.31*

Maximum Number of Residential Units:

Subarea A:	353 units
Subarea B:	Any units authorized but not constructed within Subareas A and C
Subarea C:	145 units
Overall:	498 units

Maximum Percentage of Site Coverage:

In accordance with the Site Plan

Minimum Number of Off-Street Parking Spaces:

Subarea A:	1.11 spaces per dwelling unit
Subarea B:	1.11 spaces per dwelling unit

* (See Statement 9. When any Part 2 application is submitted for Subarea C, the Applicant shall notify the Department of Housing whether, or not, the Applicant is taking advantage of the Floor Area Bonus).

Subarea C: 1.11 spaces per dwelling unit as reduced in accordance with the provisions of Sections 17-10-0102-B(1) and 17-10-0102-C

Minimum Number of Off-Street Loading Berths:

Subarea A: 2 berths
Subarea B: None
Subarea C: 1 berth
Total: 3 berths

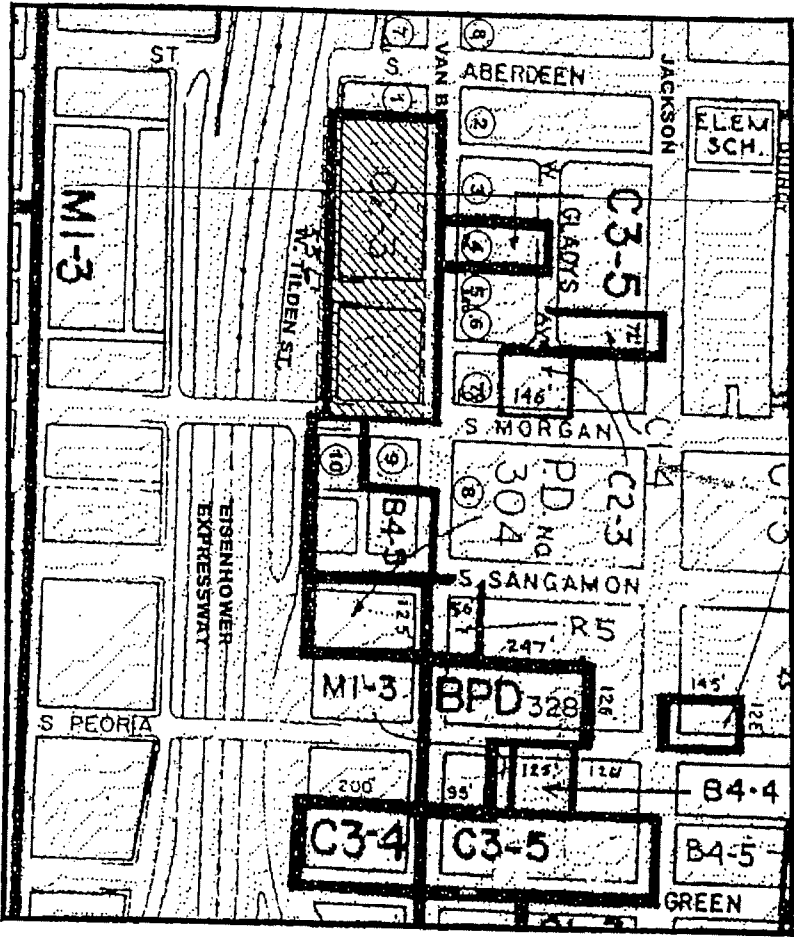
Minimum Building Setbacks:

Subarea A: In accordance with the Site Plan
Subarea B: As existing
Subarea C: As existing

Maximum Building Height:

Subarea A: 330 feet, in accordance with the Building Elevations
Subarea B: As existing
Subarea C: As existing

RESIDENTIAL-BUSINESS PLANNED DEVELOPMENT



INDICATED
PROPERTY FOR
PLANNED
DEVELOPMENT

ZONING DISTRICT
BOUNDARIES

KEY

1. Blue Plate Catering
2. Universal Overall, Co. Rebuilders
3. Guy & Sons Auto Rebuilders
4. Lind-Wallock
5. Aires Press, Inc.
6. West Loop Auto Body
7. Vacant Lot
8. Paved Parking Lot
9. Transamerica Loft-Office
10. Residential Building

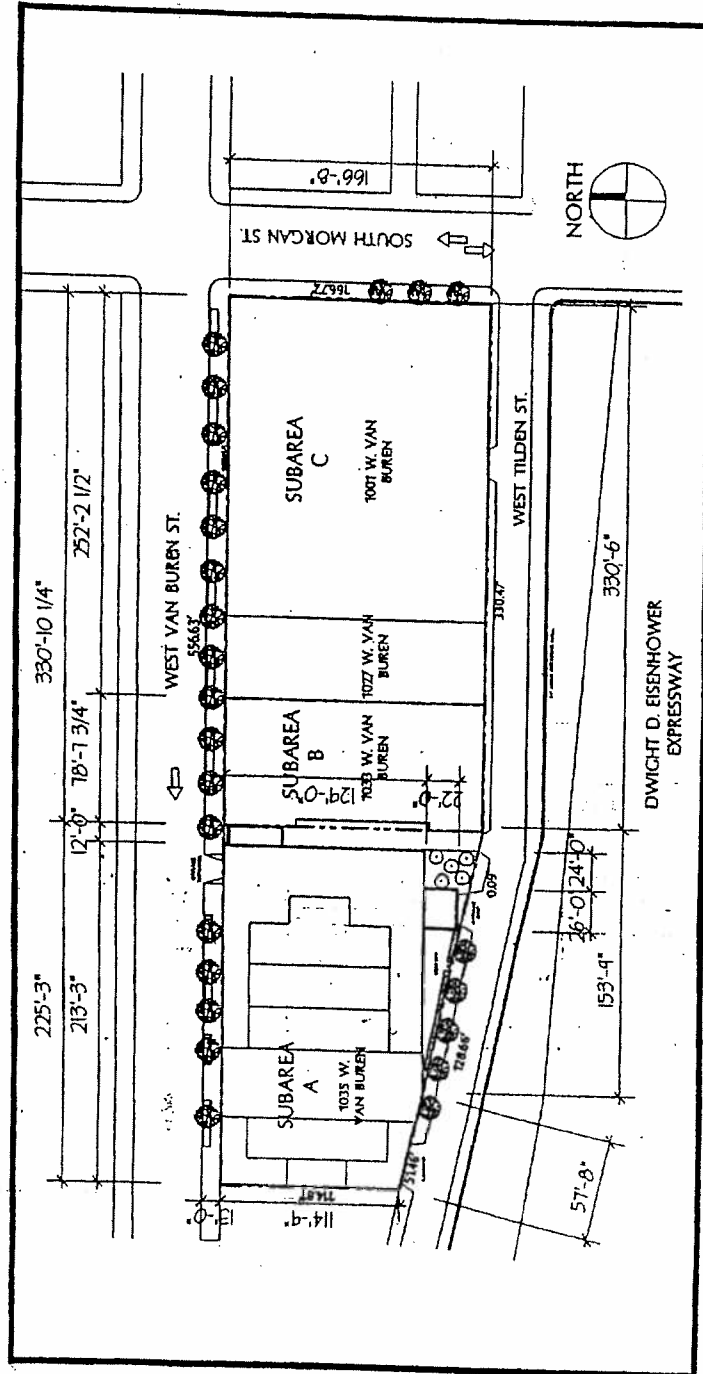
Existing Zoning And Land-Use Map.

June 16, 2005

Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

Site Plan.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT

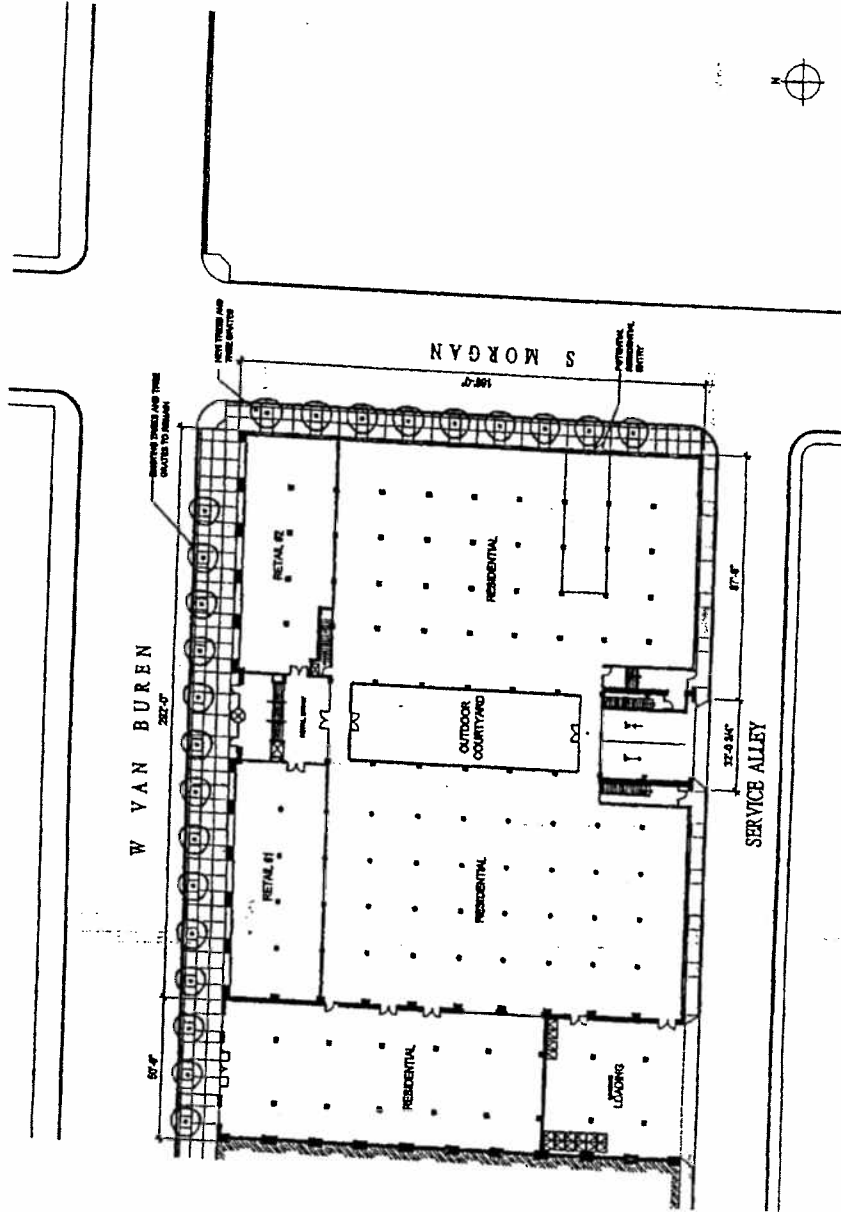


PROPERTY LINES

Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

June 16, 2005

Site Plan/Student Residence.



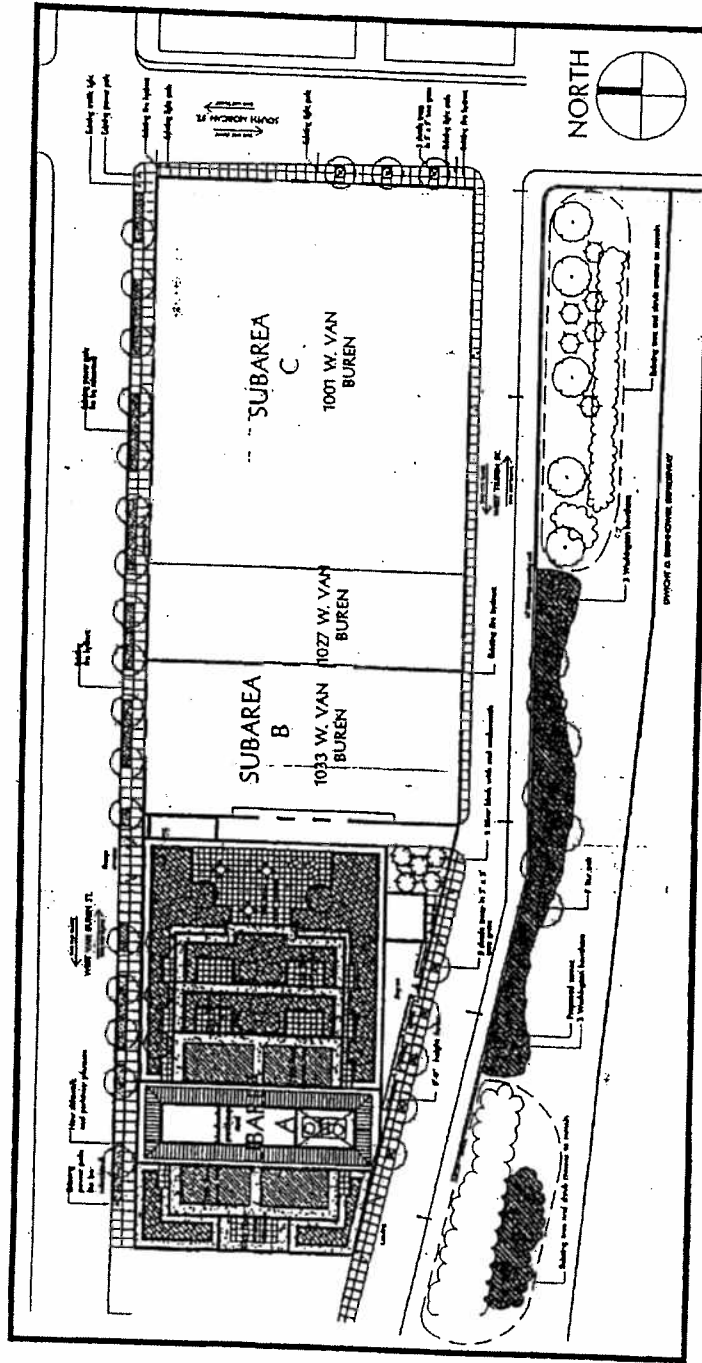
SITE PLAN
ANTUNOVICH ASSOCIATES
 Architects
 200 West Madison Street
 Chicago, Illinois 60601
 Phone: (312) 329-1111
 Fax: (312) 329-1111

1001 WEST VAN BUREN STUDENT RESIDENCE
 Chicago, Illinois
 June 14, 2003

Swickfield Properties
 1001 West Van Buren
 Chicago, Illinois 60601
 Phone: (312) 329-1111
 Fax: (312) 329-1111

Landscape Plan.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT

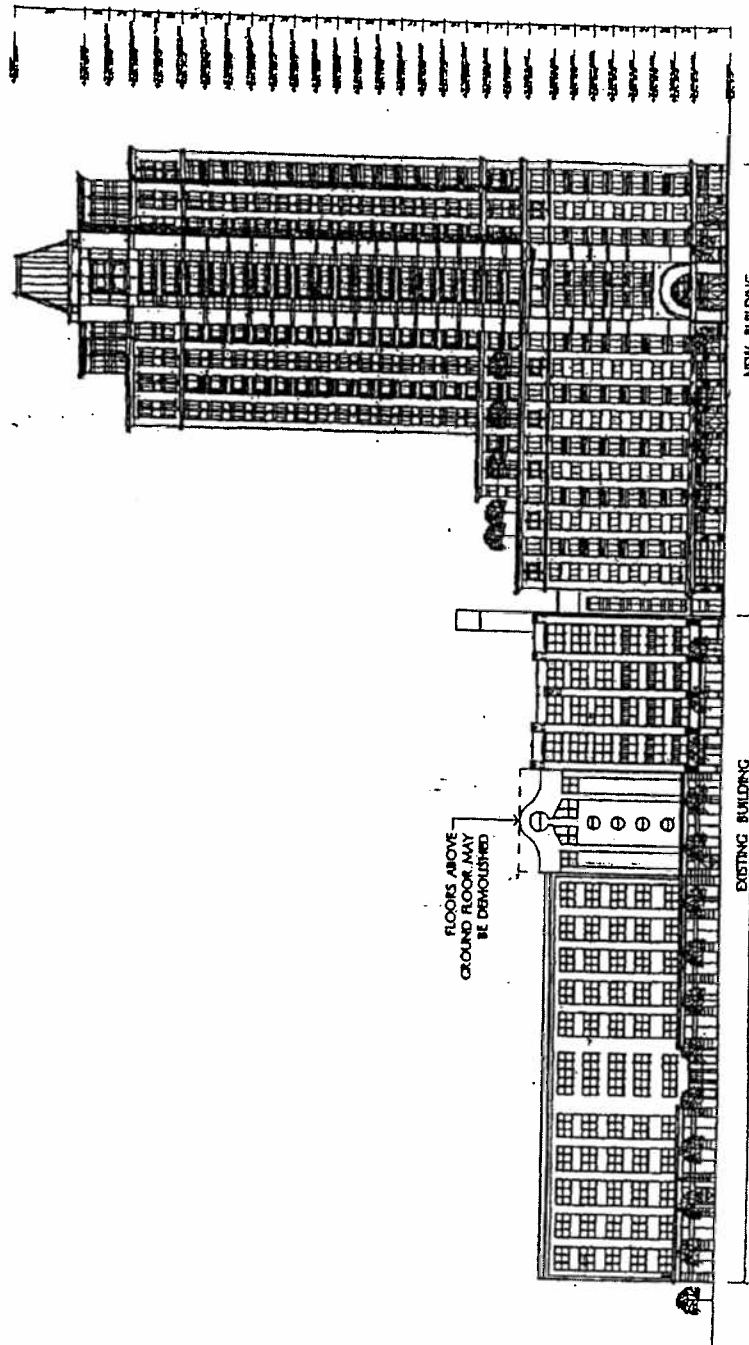


Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

June 16, 2005

North/West Van Buren Street Elevation.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT

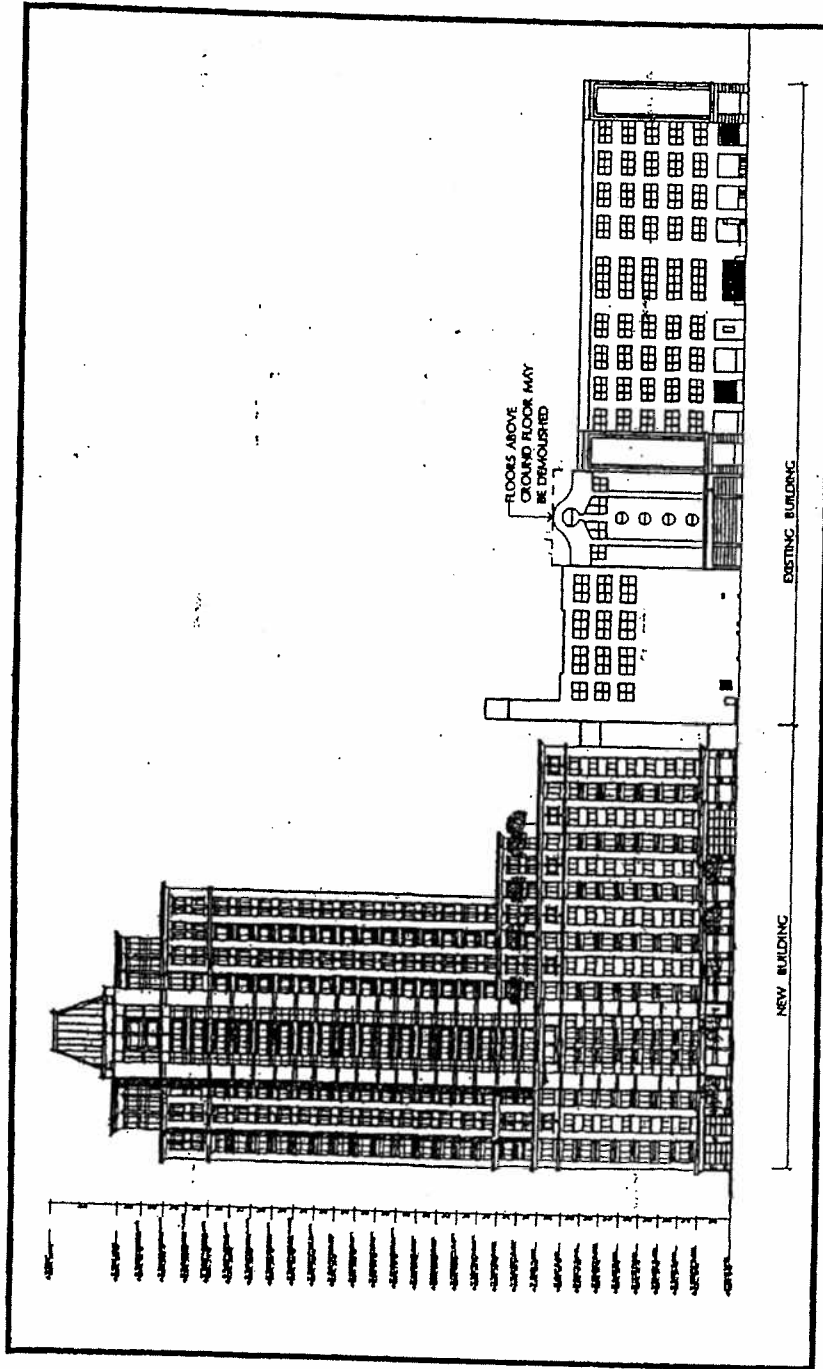


Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

June 16, 2005

South/Eisenhower Expressway Elevation.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT

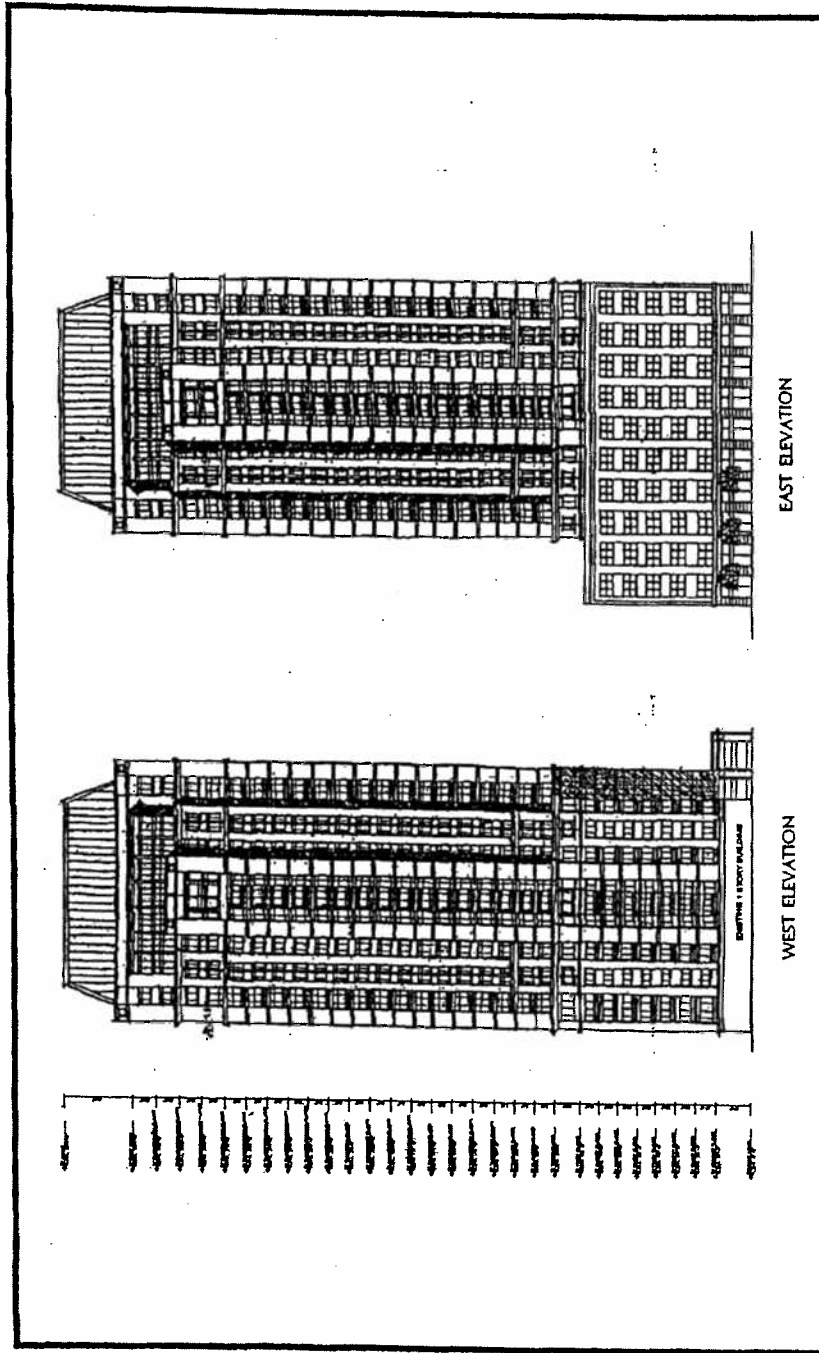


Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

June 16, 2005

East And West Elevation.

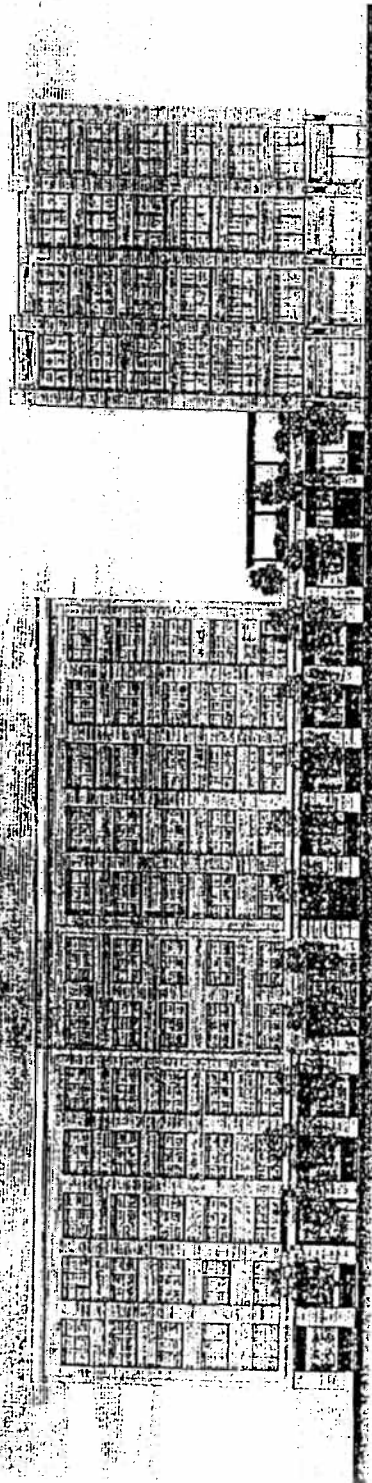
RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT



Smithfield Properties XXXVII, L.L.C.
400 W. Huron Street
Chicago, Illinois 60610

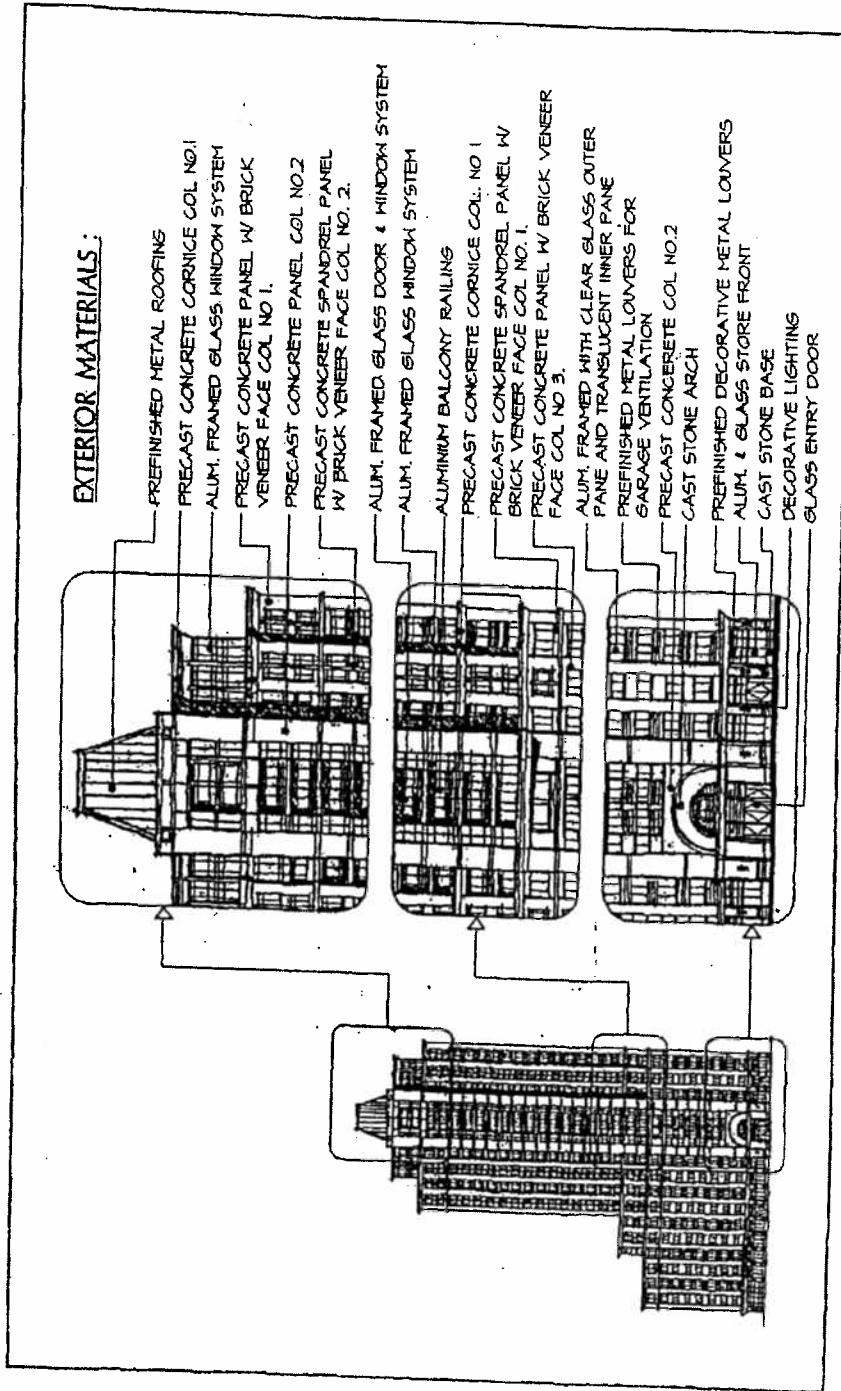
June 16, 2005

North Elevation -- West Van Buren Street.



Exterior Materials.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT



EXTERIOR MATERIALS:

- PREFINISHED METAL ROOFING
- PRECAST CONCRETE CORNICE COL NO.1
- ALUM. FRAMED GLASS WINDOW SYSTEM
- PRECAST CONCRETE PANEL W/ BRICK VENEER FACE COL NO. 1.
- PRECAST CONCRETE PANEL COL NO.2
- PRECAST CONCRETE SPANDREL PANEL W/ BRICK VENEER FACE COL NO. 2.
- ALUM. FRAMED GLASS DOOR & WINDOW SYSTEM
- ALUM. FRAMED GLASS WINDOW SYSTEM
- ALUMINUM BALCONY RAILING
- PRECAST CONCRETE CORNICE COL. NO 1
- PRECAST CONCRETE SPANDREL PANEL W/ BRICK VENEER FACE COL NO. 1.
- PRECAST CONCRETE PANEL W/ BRICK VENEER FACE COL NO 3.
- ALUM. FRAMED WITH CLEAR GLASS OUTER PANE AND TRANSLUCENT INNER PANE GARAGE VENTILATION
- PREFINISHED METAL LOUVERS FOR
- CAST STONE ARCH
- PRECAST CONCRETE COL NO.2
- PREFINISHED DECORATIVE METAL LOUVERS
- ALUM. & GLASS STORE FRONT
- CAST STONE BASE
- DECORATIVE LIGHTING
- GLASS ENTRY DOOR

Smithfield Properties XXXVII, LLC.
 400 W. Huron Street
 Chicago, Illinois 60610

June 16, 2005

the public alley next north of West Grand Avenue; North Leavitt Street; and West Grand Avenue, from a line 168.00 feet west of and parallel to North Leavitt Street,

to those of a C2-2 General Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Number 2-G.
(Application Number 13851)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C2-3 General Commercial District symbols and indications as shown on Map Number 2-G in the area bounded by:

West Van Buren Street; South Morgan Street; West Tilden Street; and a line 556.65 feet west of and parallel to South Morgan Street,

to those of a C3-5 Commercial-Manufacturing District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from after its passage and due publication.

*Reclassification Of Area Shown On Map Number 2-G.
(As Amended)*

(Application Number 13852) RBPID 867

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the

C3-5 Commercial-Manufacturing District symbols and indications as shown on Map Number 2-G in the area bounded by:

West Van Buren Street; South Morgan Street; West Tilden Street; and a line 556.65 feet west of and parallel to South Morgan Street,

to those of a Residential Business Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential-Business Planned Development Number 867.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of a net site area of approximately one and ninety-nine hundredths (1.99) acres (eighty-six thousand eight hundred ninety-six (86,896) square feet) which is controlled by Premier Center, L.L.C. and Neumann Homes, Inc. ("Applicant") for purposes of this Residential-Business Planned Development.
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns and if different than the Applicant, the owners of all the property within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development, the legal title holder and any ground lessors. All rights granted hereunder to the

Applicant shall inure to the benefit of the Applicant, successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the property within the Planned Development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development. No amendment may be sought without written approval by the homeowners association unless the right to do so has been retained by Applicant and its successors in title documents.

4. This plan of development consists of these fourteen (14) statements, a Bulk Regulations and Data Table; a Planned Development Property Line and Boundary Map; an Existing Zoning and Land-Use Map; a Site Plan; a Landscape Plan; and Building Elevations dated May 15, 2003, prepared by Fitzgerald & Associates, which are all incorporated herein. Full size sets of the Site Plan, Exterior Materials Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the areas delineated herein: multi-family dwelling units; uses as permitted in the C3-5 zoning district; accessory parking; non-accessory parking; ground floor residential uses although no dwelling units will be located on the ground floor of the Van Buren frontage; accessory uses; and related uses.
6. Identification and business signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.

7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to review of the Departments of Transportation and Planning and Development. However, until construction of the parking garage is complete, parking for the project shall be in numbers consistent with the C3-5 requirements and may be provided in off-site locations. The location of any off-site parking locations is subject only to the approval of the Department of Planning and Development.
8. In addition to the maximum height of any building or any appurtenance attached thereto, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
10. Improvements of the property, including landscaping and all entrances and exits shall be designed, installed, and maintained in substantial conformance with the Bulk Regulations and Data Table and the Site and Landscape Plans attached hereto and made a part hereof. Landscaping, green roof, planter boxes and the exterior dog walk shall be installed and maintained at all times in accordance with the Site Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The terms, conditions and exhibits of this planned development may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. Unless substantial construction of the building has begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of that property shall revert to the C2-4 Commercial-Manufacturing District. The six (6) year period may be extended for one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that there is good cause for such an extension.

[Existing Zoning and Land-Use Map; Property Line and Boundary Map; Site Plan; Landscape Plan; Exterior Materials; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 2834 through 2841 of this *Journal*.]

Bulk Regulations and Date Table referred to in these Plan and Development Statements reads as follows:

6/4/2003

REPORTS OF COMMITTEES

13852
2833

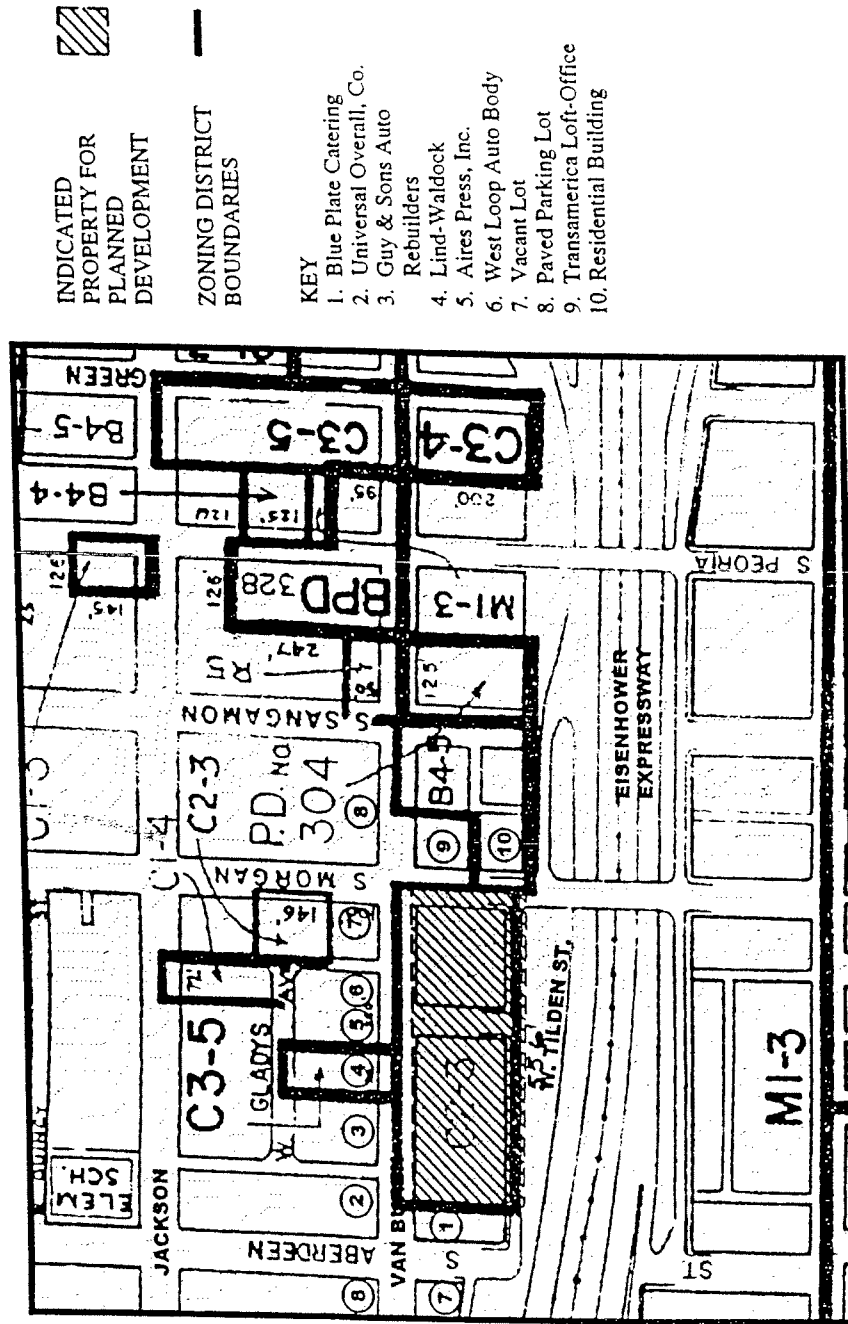
Residential-Business Planned Development Number 867.

Bulk Regulations And Data Table.

Gross Site Area:	122,518 square feet (2.81 acres).
Net Site Area:	Total = Gross Site Area (122,518 square feet) - Area in Public Streets and Alleys (35,622 square feet) = Net Site Area (86,896 square feet (1.99 acres)).
Maximum Permitted Floor Area Ratio:	7.0.
Maximum Number of Residential Units:	498 units.
Maximum Site Coverage:	In accordance with the Site Plan.
Minimum Number of Accessory Off-Street Parking Spaces:	545. In the event fewer units are constructed at the time of Part II approval, fewer parking spaces may also be constructed, so long as the 1:1.11 parking ratio of residential units to parking spaces is maintained.
Minimum Number of Off-Street Loading Docks:	3.
Minimum Building Setbacks:	In accordance with the Site Plan.
Maximum Building Height:	In accordance with the Building Elevations.

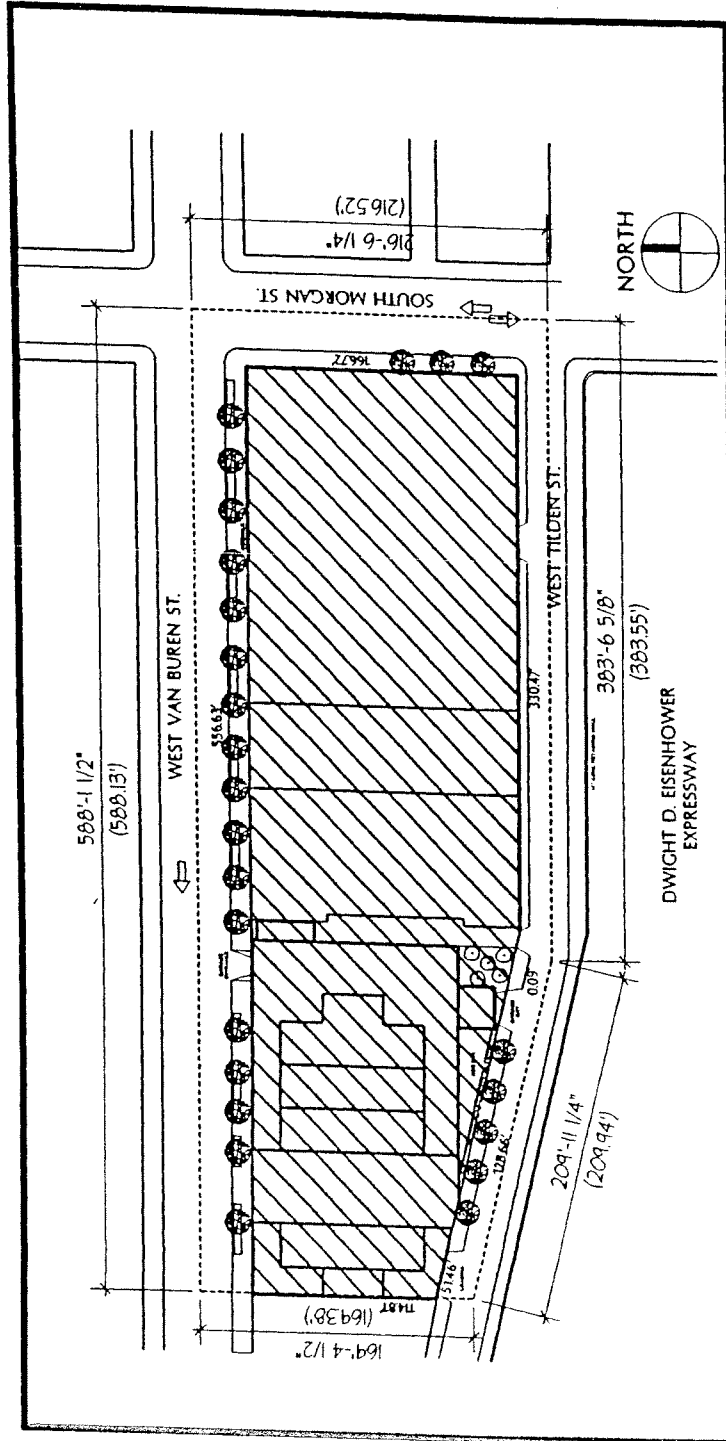
Existing Zoning And Land-Use Map.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
EXISTING ZONING & LAND USE MAP



Property Line And Boundary Map.

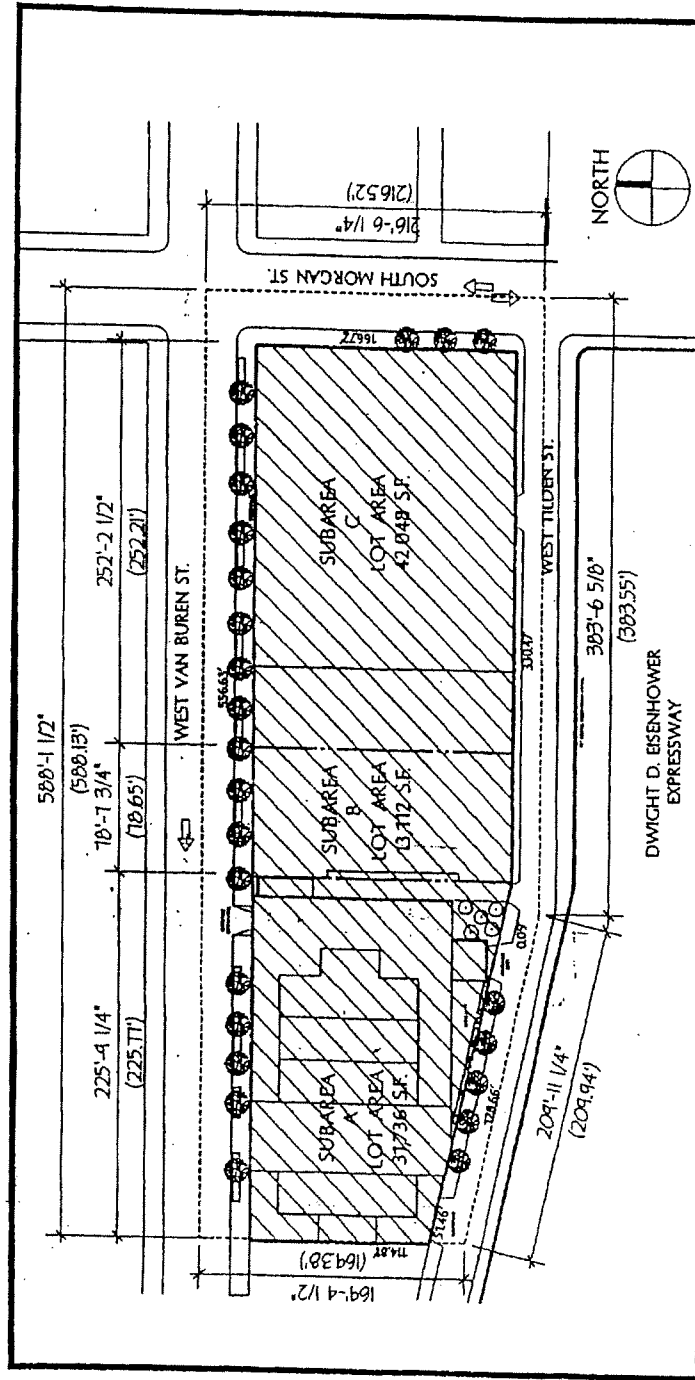
RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
PROPERTY LINE & BOUNDARY MAP



PLANNED DEVELOPMENT BOUNDARY LINE
 INDICATED PROPERTY FOR PLANNED DEVELOPMENT
 PROPERTY LINES

Property Line, Boundary And Subarea Map.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT



PLANNED DEVELOPMENT BOUNDARY LINE

INDICATED PROPERTY FOR PLANNED DEVELOPMENT

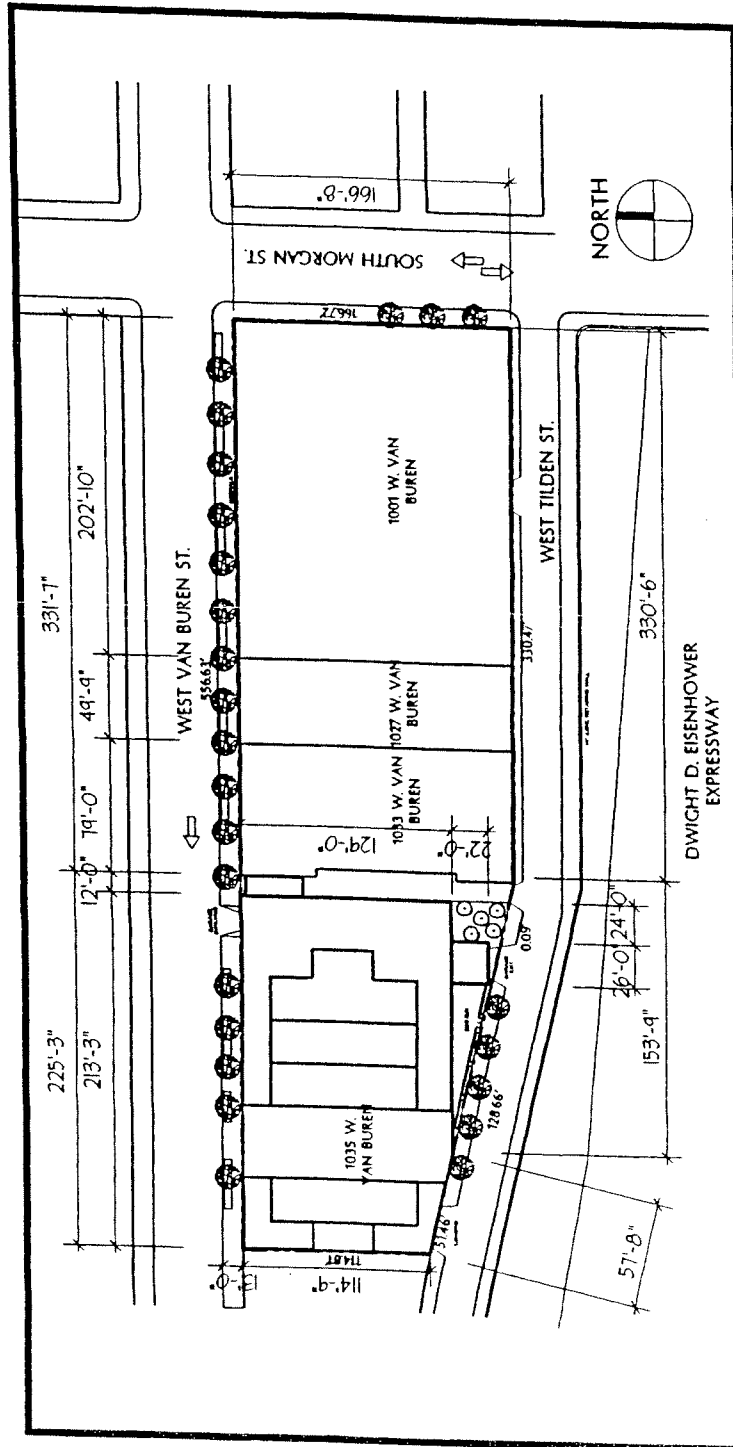
PROPERTY LINES

Smithfield Properties XXXVII, L.L.C.
 400 W. Huron Street
 Chicago, Illinois 60610

June 16, 2005

Site Plan.

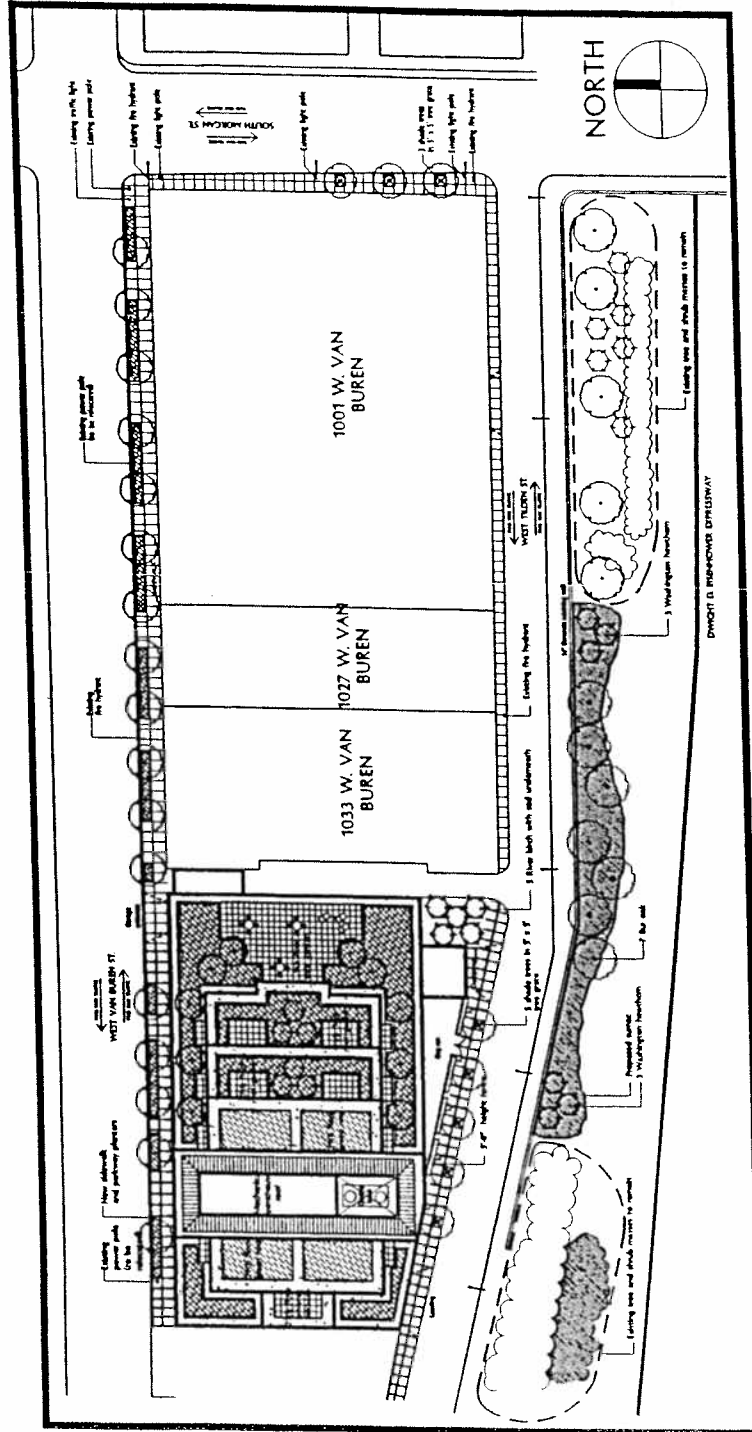
RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
SITE PLAN



PROPERTY LINES - - - - -

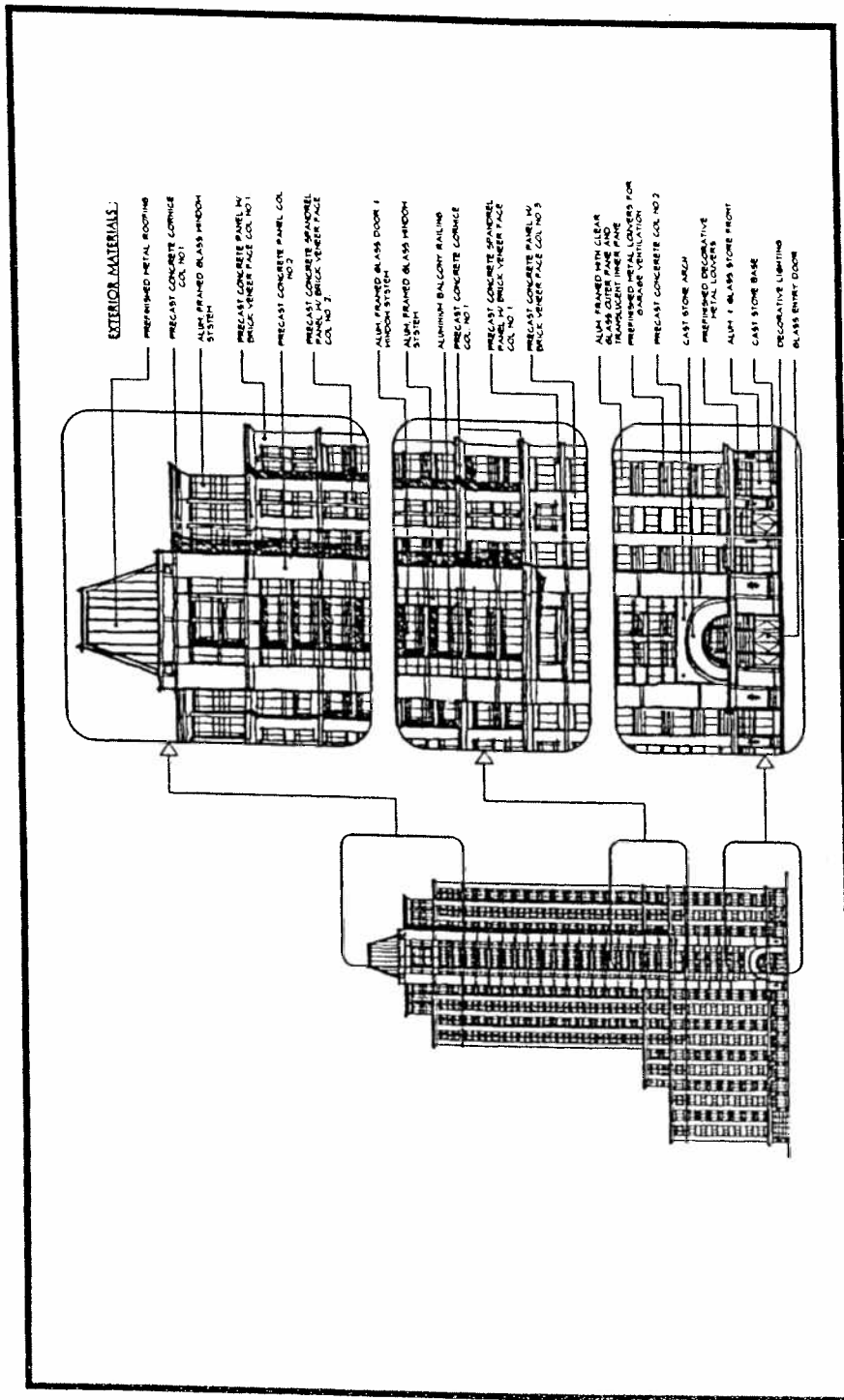
Landscape Plan.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
LANDSCAPE PLAN



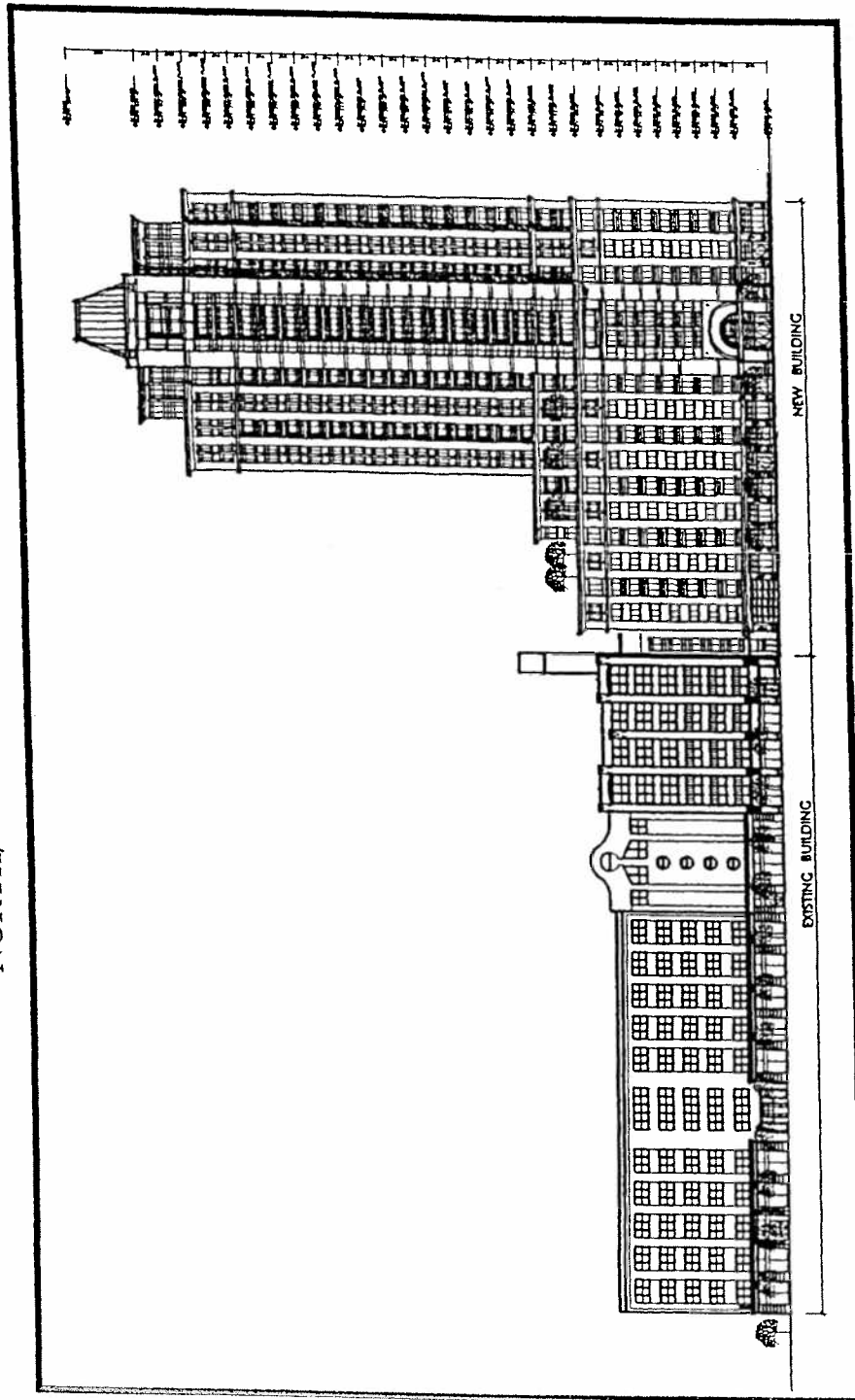
Exterior Materials.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
EXTERIOR MATERIALS



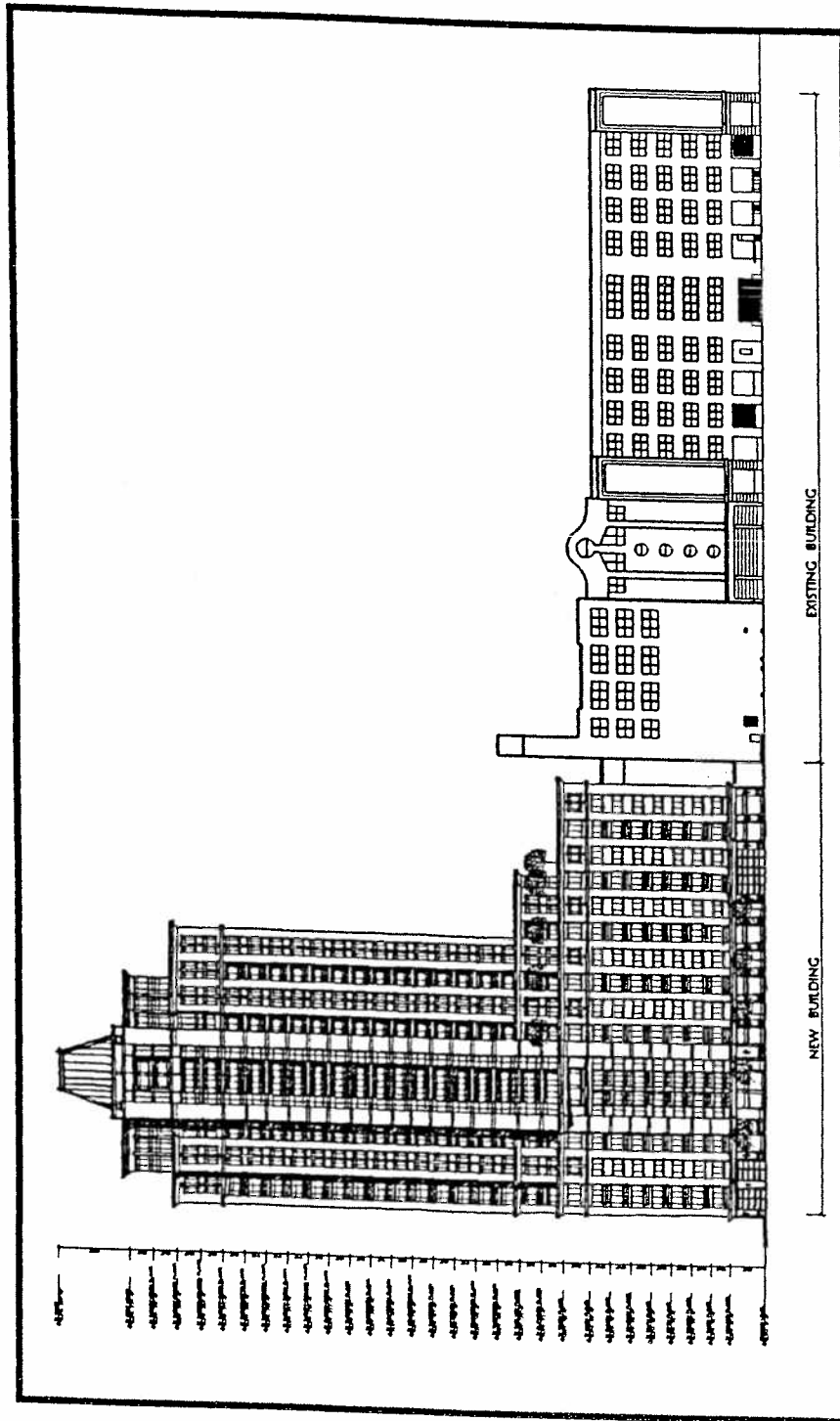
North/West Van Buren
Building Elevation.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
NORTH/W. VAN BUREN ELEVATION



South/Eisenhower Expressway
Building Elevation.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
SOUTH/EISENHOWER EXPRESSWAY ELEVATION



East And West Building Elevations.

RESIDENTIAL - BUSINESS PLANNED DEVELOPMENT
EAST AND WEST ELEVATION

